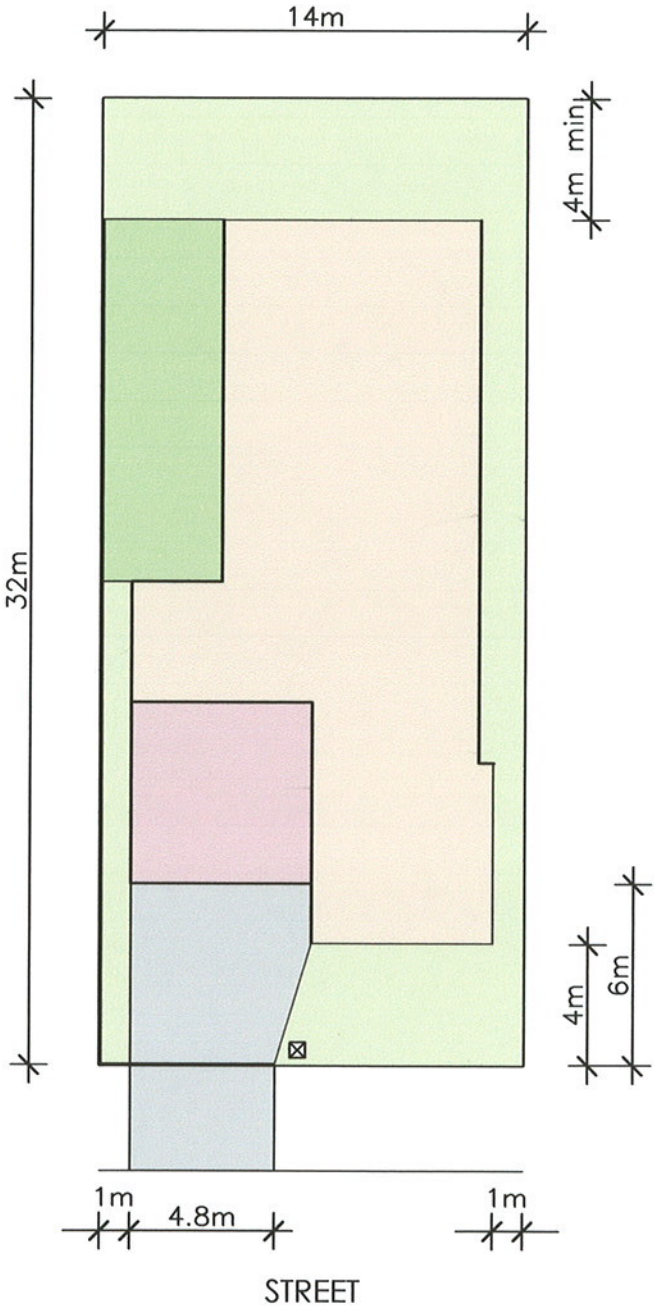


FERNGROVE BALLINA

TYPICAL COURTYARD

- Lot sizes 421 sqm – 480 sqm + sqm, Typically 445 sqm, with 14-15 m wide frontages.
Single storey (3 bed + study) house up to 190 sqm floor plate;
Double storey (4 bed + study) house up to 220 sqm floor plate.
- The primary street frontage of the allotments should have a 6 m setback for garage and 4 m for the ground and second level of the dwelling. Balconies may project beyond the building line provided:-
 - The balcony is cantilevered with no walls or columns below the balcony and no walls or roofs above the balcony
 - The balcony has a maximum projection of 1.8 m
- A reduced secondary frontage setback of 4 m applies to all corner courtyard allotments.
- The building configuration should encourage a north facing courtyard.
- 1 m side setback for roof overhang (however, a zero lot line tolerance of 0.2 m is permitted to facilitate a gutter overhang, if this tolerance is used no fencing to the boundary is permitted for that length of the wall)
- The built to boundary wall must not exceed 50% of the boundary at ground level. The second level must be setback a minimum of 1.5 m from the built to boundary side to avoid overshadowing on the adjoining dwellings. Garages should be set back behind the primary building line where possible.
- A minimum of one (1) onsite car parking space will be provided for each dwelling.

FERNGROVE BALLINA DESIGN GUIDELINES INDICATIVE LAYOUT TYPICAL COURTYARD



Legend

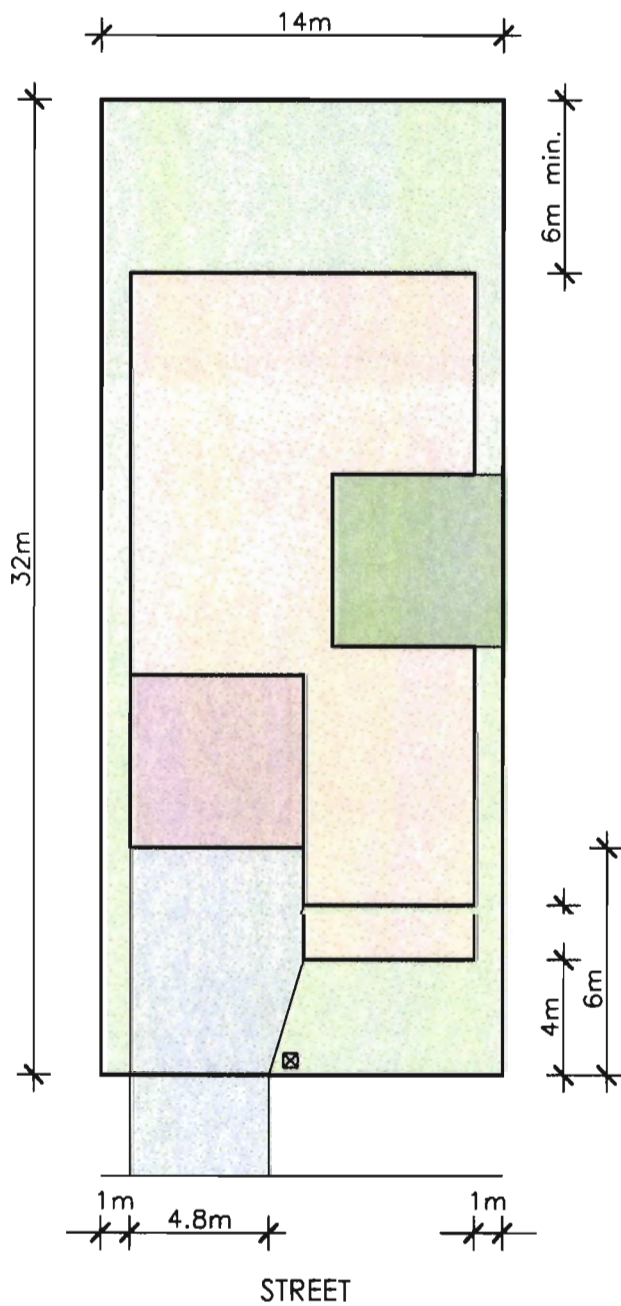
-  Lot Boundary
-  Indicative Building Footprint
-  Indicative Garage Location
-  Open Space
-  Indicative Courtyard
-  Indicative Driveway Location
-  Letterbox

FERNGROVE BALLINA

TYPICAL ACOUSTIC COURTYARD

- Lot sizes 448 sqm – 480 sqm + sqm, 14-15 m wide frontages. Single storey (3 bed + study) house up to 190 sqm floor plate; Double storey (4 bed + study) house up to 220 sqm floor plate.
- The primary street frontage of the allotments should have a 6 m setback for garage and 4 m for the ground and second level of the dwelling. Balconies may project beyond the building line provided:-
 - The balcony is cantilevered with no walls or columns below the balcony and no walls or roofs above the balcony
 - The balcony has a maximum projection of 1.8 m
- Rear setback minimum 6 m, secondary frontage setback of 4 m applies to all corner courtyard allotments.
- The building configuration should encourage a north-east facing outdoor room/internal courtyard.
- 1 m side setback for roof overhang (a zero lot line tolerance of 0.2 m is permitted to facilitate a gutter overhang, if this tolerance is used no fencing to the boundary is permitted for that length of the wall)
- The built to boundary wall must not exceed 50% of the boundary at ground level. The second level must be setback a minimum of 1.5 m from the built to boundary side to avoid overshadowing on the adjoining dwellings. Garages should be set back behind the primary building line where possible.
- A minimum of one (1) onsite car parking space will be provided for each dwelling.

FERNGROVE BALLINA DESIGN GUIDELINES INDICATIVE LAYOUT TYPICAL ACOUSTIC COURTYARD



Legend

-  Lot Boundary
-  Indicative Building Footprint
-  Indicative Garage Location
-  Open Space
-  Indicative Courtyard
-  Indicative Driveway Location
-  Letterbox